

**TO LET (Following Refurbishment) – £30,000pax**

**91 High Street, Northallerton, N. Yorkshire,  
DL7 8QT**

**Versatile Commercial Premises – UNDERGOING REFURBISHMENT - 1,570sq.ft.**

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## SITUATION/LOCATION

The property fronts Northallerton High Street adjacent to the Town Hall Buildings and directly neighbouring Lewis and Cooper, Caffè Nero and Holme Design.

Northallerton provides an affluent and diverse High Street incorporating a diverse variety of established business including Barkers Department Store, Waterstones and Fat Face within close proximity of the subject property.

Northallerton is an affluent Market Town situated approximately 8 miles north of Thirsk, 15 miles south of Darlington and 30 miles north of York benefitting from convenient transport links across the region via the A1(M) and A19.

## DESCRIPTION

Ground floor commercial premises.

The property is currently undergoing refurbishment to include a new glazed timber shop front to the High Street and will provide an open plan and versatile sales area finished to a developer's shell across the ground floor with staff accommodation and wcs provided on the first floor.

The property may suit a variety of business uses subject to any necessary consents (currently Class E). The Landlord's refurbishment can be tailored to suit occupier requirements subject to negotiation.

## TENURE

The property is available by way of a new lease drawn on standard full repairing and insuring terms for a term of years to be agreed.

## ACCOMMODATION

Ground Floor	110sq.m.	1,183sq.ft.*
First Floor	36sq.m.	387sq.ft.*
Total	146sq.m.	1,570sq.ft.*

*\*Floor areas provided by our client's architect and may be subject to minor change following Landlord refurbishment*

## COSTS

Each party will be responsible for their own legal, professional and surveying costs incurred within this transaction.

## APPLICATION FEE

Where the undertaking of references is carried out by the Agent an application fee is payable by the applicant for the lease. Please ask agent for further information.

## RATEABLE VALUE

Current: £23,250  
From 1<sup>st</sup> April 2026: £28,000

The property will require re-assessment for the purpose of business rates. Interested parties are advised to qualify the incidence of business rates with their professional advisors

## VAT

We are advised by our client that VAT is not applicable to the rent.

## VIEWING

Strictly by appointment only through agents.

## ENERGY PERFORMANCE ASSET RATING

C-61



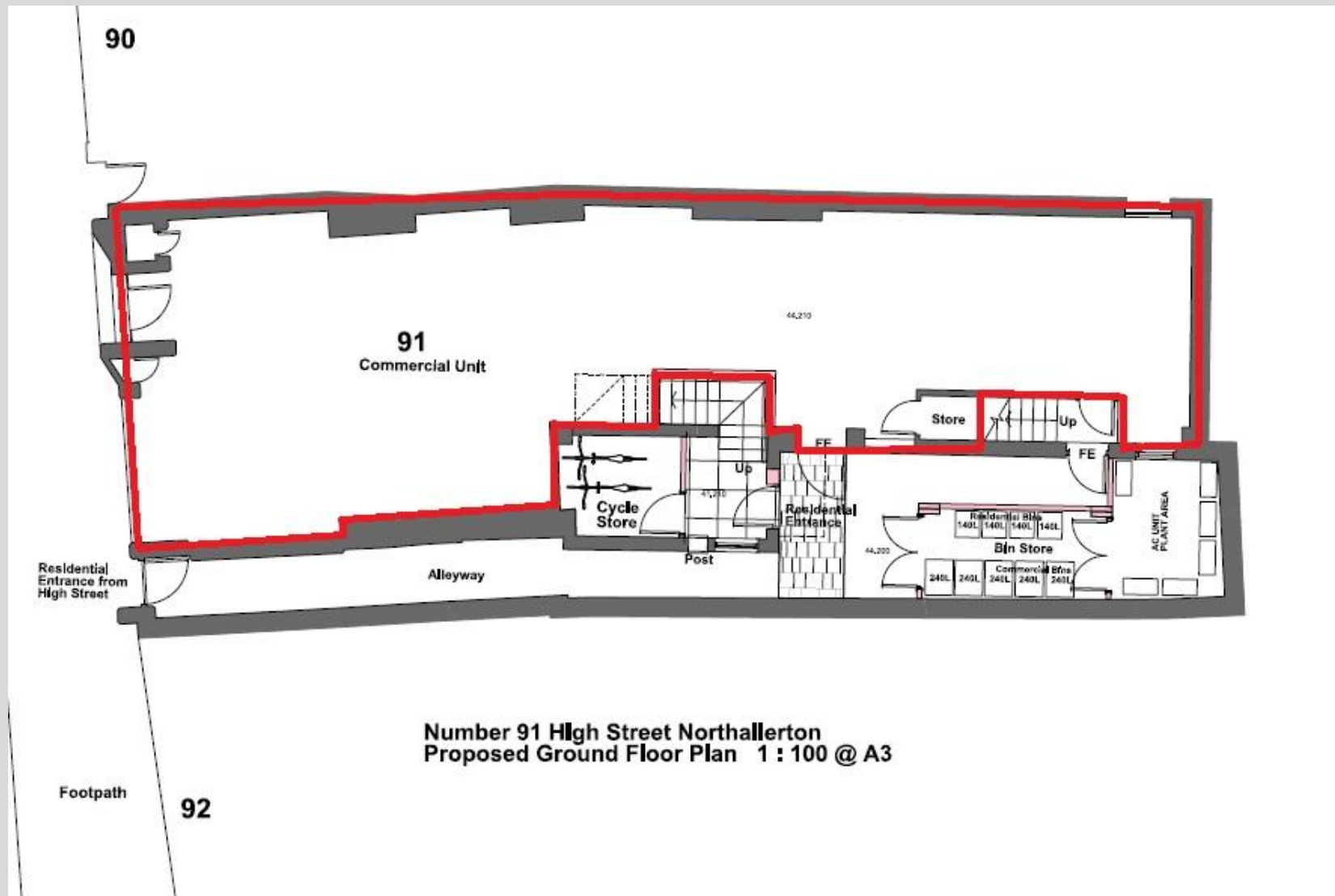
**18 St Cuthberts Way**  
**Darlington,**  
**County Durham**  
**DL1 1GB**  
**Telephone: 01325 466945**

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## PROPOSED GROUND FLOOR PLAN (FOLLOWING REFURBISHMENT)

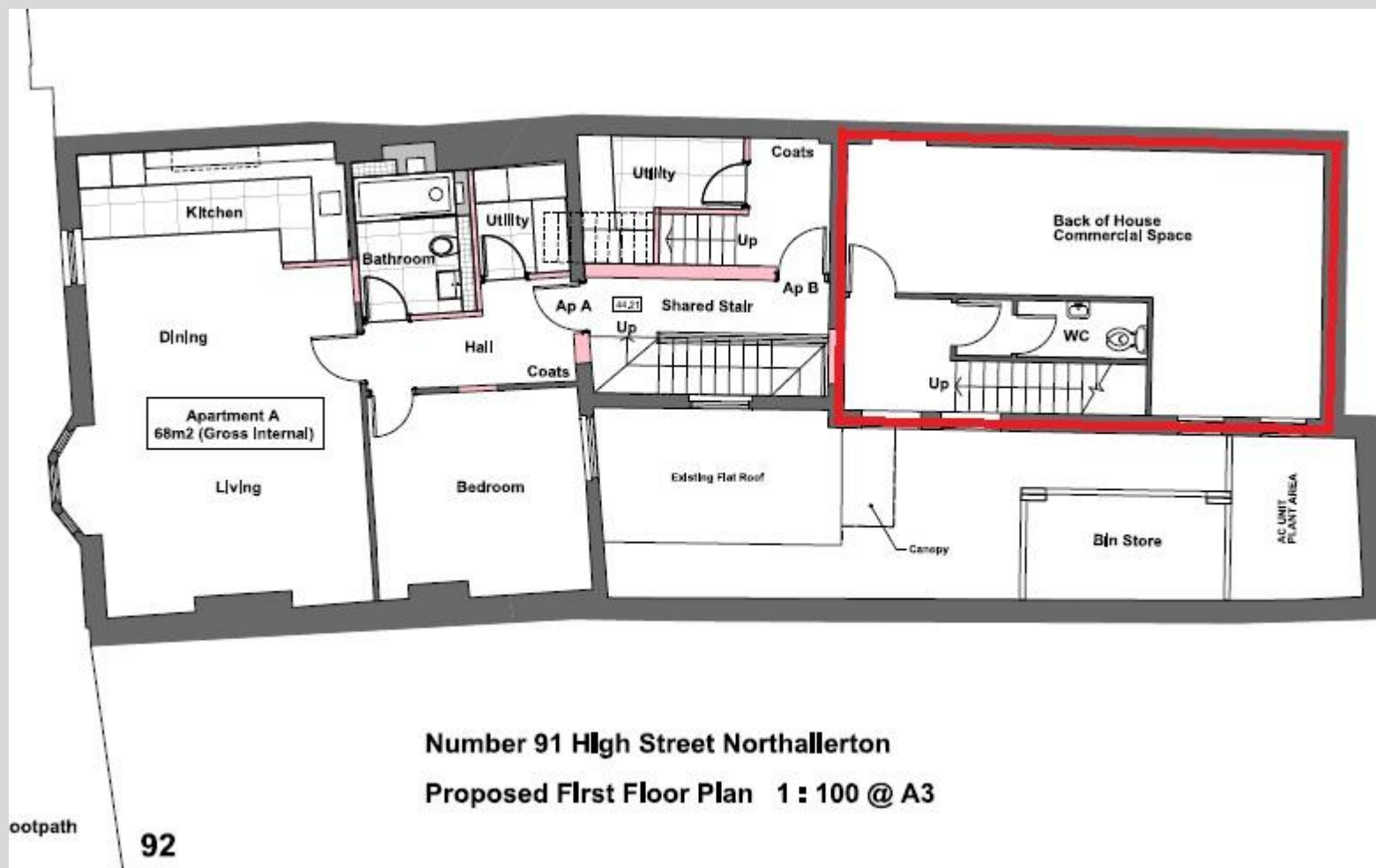


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## PROPOSED FIRST FLOOR PLAN (FOLLOWING REFURBISHMENT)



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## PROPOSED SHOP FRONT



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