

**TO LET (Following Refurbishment) – £30,000pax**

**91 High Street, Northallerton, N. Yorkshire,  
DL7 8QT**

**Versatile Commercial Premises – UNDERGOING REFURBISHMENT - 1,570sq.ft.**

**CARVER**  
COMMERCIAL  
CHARTERED SURVEYORS  
& PROPERTY CONSULTANTS



## SITUATION/LOCATION

The property fronts Northallerton High Street adjacent to the Town Hall Buildings and directly neighbouring Lewis and Cooper, Caffe Nero and Holme Design.

Northallerton provides an affluent and diverse High Street incorporating a diverse variety of established business including Barkers Department Store, Waterstones and Fat Face within close proximity of the subject property.

Northallerton is an affluent Market Town situated approximately 8 miles north of Thirsk, 15 miles south of Darlington and 30 miles north of York benefitting from convenient transport links across the region via the A1(M) and A19.

## DESCRIPTION

Ground floor commercial premises.

The property is currently undergoing refurbishment to include a new glazed timber shop front to the High Street and will provide an open plan and versatile sales area finished to a developer's shell across the ground floor with staff accommodation and wcs provided on the first floor.

The property may suit a variety of business uses subject to any necessary consents (currently Class E). The Landlord's refurbishment can be tailored to suit occupier requirements subject to negotiation.

## TENURE

The property is available by way of a new lease drawn on standard full repairing and insuring terms for a term of years to be agreed.

## ACCOMMODATION

Ground Floor	110sq.m.	1,183sq.ft.*
First Floor	36sq.m.	387sq.ft.*
Total	146sq.m.	1,570sq.ft.*

*\*Floor areas provided by our client's architect and may be subject to minor change following Landlord refurbishment*

## COSTS

Each party will be responsible for their own legal, professional and surveying costs incurred within this transaction.

## APPLICATION FEE

Where the undertaking of references is carried out by the Agent an application fee is payable by the applicant for the lease. Please ask agent for further information.

## RATEABLE VALUE

Current: £23,250  
From 1<sup>st</sup> April 2026: £28,000

The property will require re-assessment for the purpose of business rates. Interested parties are advised to qualify the incidence of business rates with their professional advisors

## VAT

We are advised by our client that VAT is not applicable to the rent.

## VIEWING

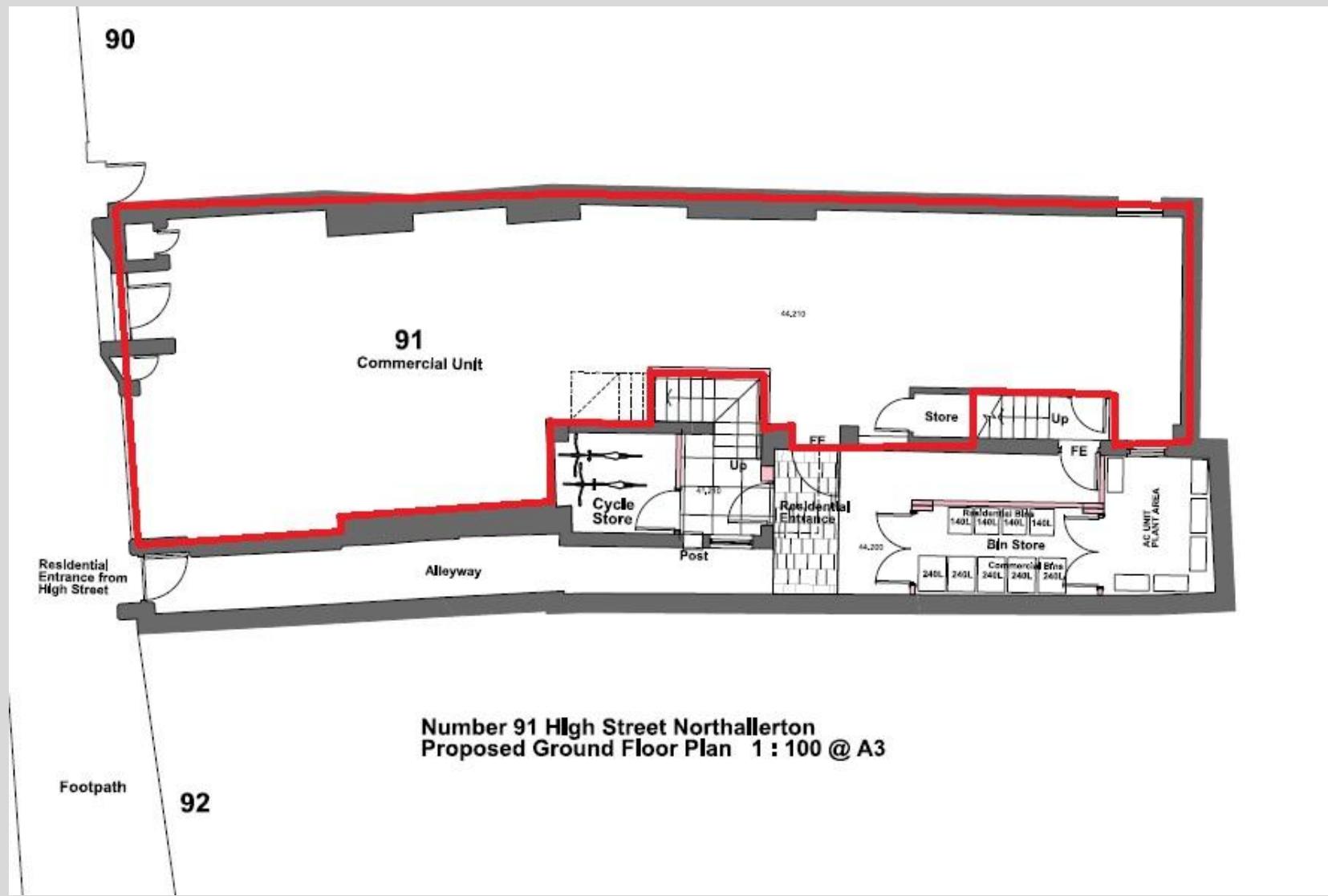
Strictly by appointment only through agents.

## ENERGY PERFORMANCE ASSET RATING

C-61



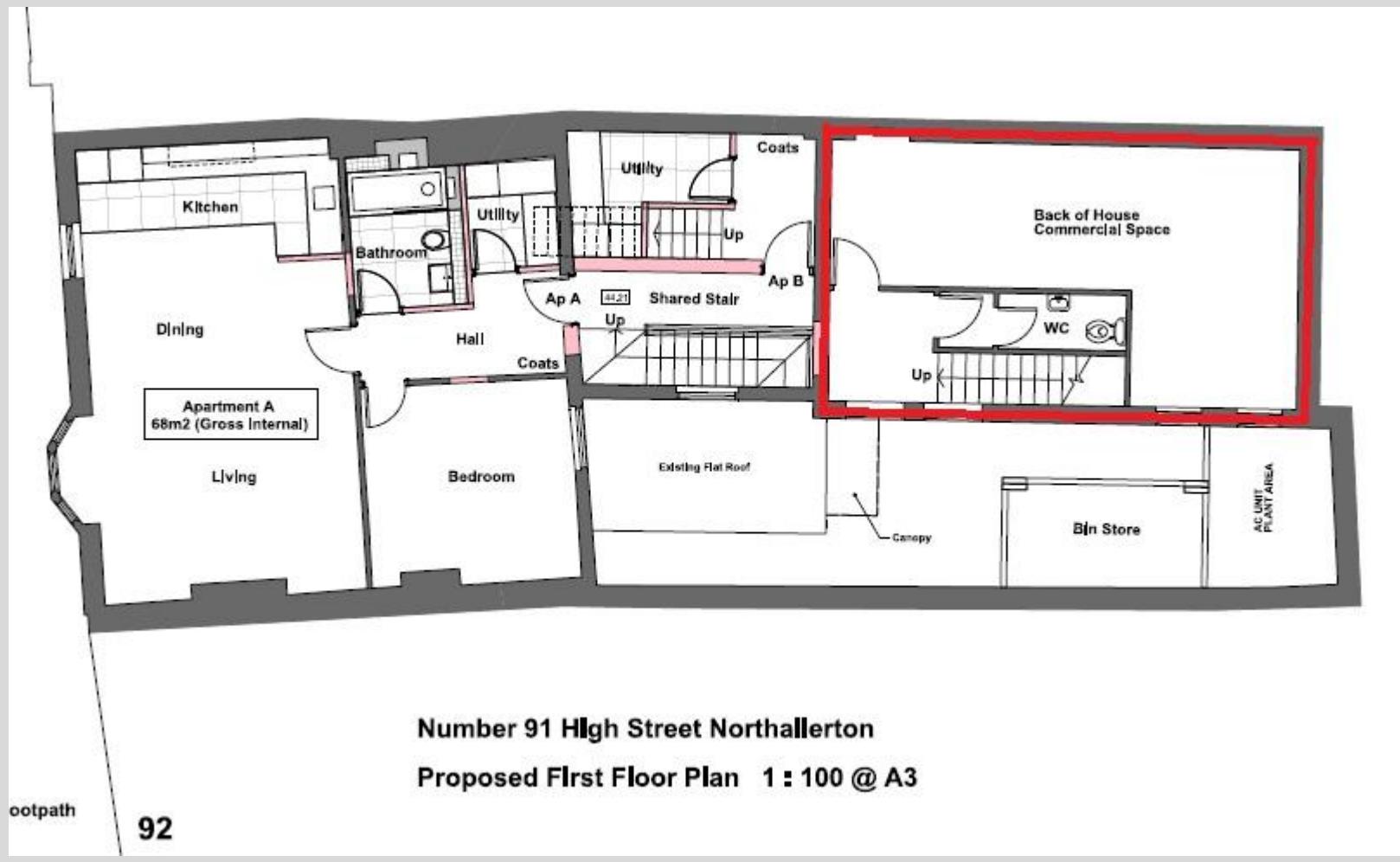
## PROPOSED GROUNF FLOOR PLAN (FOLLOWING REFURBISHMENT)



18 St Cuthberts Way  
Darlington,  
County Durham  
DL1 1GB  
Telephone: 01325 466945

**IMPORTANT NOTICE:** whilst every reasonable effort has been made by Carver Commercial to ensure accuracy, interested parties are strongly advised to take appropriate steps to verify by independent inspection or enquiry all information for themselves and to take appropriate professional advice. (i) No description or information given about the property or its value, whether written or verbal or whether or not in these particulars ('information') may be relied upon as a statement of representation or fact. Carver Commercial or any joint agent nor its employees have any authority to make any representation and accordingly any information given is entirely without responsibility on the part of the Agent or the seller/lessor. (ii) Any photographs show only certain parts of the property at the same time they were taken. Any areas, measurements or distances given are approximate only. (iii) Any reference to alterations to, or use of any part of the property is not a statement that any necessary planning, building regulations or other consent has been obtained. These matters must be verified by any intending buyer/lessee. (iv) Any buyer/lessee must satisfy himself by inspection or otherwise as to the correctness of any information given. (v) VAT is applicable unless expressly stated otherwise.

## PROPOSED FIRST FLOOR PLAN (FOLLOWING REFURBISHMENT)



## PROPOSED SHOP FRONT



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